

Valuation Number: 07111/187.00
GIS: 4370/0007/000

14 September 2023

Robert Connolly

Annerobbie04@gmail.com

Delivery Method: E-mail

LAND INFORMATION MEMORANDUM — 7 RŪRIMA RISE, WHAKATĀNE.

Please find attached a Land Information Memorandum for the above property. This LIM is issued on 14 September 2023 and is accurate as at that date only.

If you have any comments or questions in regards to this Land Information Memorandum please contact LIM@whakatane.govt.nz.

Yours faithfully



Cody Stainthorpe
LIM Co-ordinator

Address all correspondence to:

Chief Executive, Whakatāne District Council, Private Bag 1002, Whakatāne 3158 | Phone 07 306 0500 | info@whakatane.govt.nz

DATE OF ISSUE	14 TH SEPTEMBER 2023		
VALUATION NUMBER	07111/187.00	GIS NUMBER	4370/0007/000
1 NAME OF PROPRIETOR			
Phillip Owen Harris, Joanne Harris and BK Trustees Limited			
2 LOCATION			
7 Rūrima Rise, Coastlands			
3 LEGAL DESCRIPTION			
Lot 52 Deposited Plan South Auckland 27360			
4 PHYSICAL DESCRIPTION			
House/Unit Number	7	Street	Rūrima Rise
RD Number		Suburb/Area	Coastlands
Town	Whakatāne	Post Code	3120
5 AREA			
889m ² (more or less)			
6 ZONING			
Residential Zone under the Whakatāne District Plan			
ATTACHMENTS			
<ul style="list-style-type: none"> Record of Title Legal Description Map Easement Instrument(s) Underground Services Map Permit(s) and Consent(s) Keys to Map District Plan Map(s) Community Facilities Map Drainage Plan Floor Plan(s) 			

7 SPECIAL FEATURES	COMMENTS
<ul style="list-style-type: none"> Avulsion (the sudden removal of land, by the change in a river's course, or by flooding, to another person's land) 	No information available
<ul style="list-style-type: none"> Subsidence 	No information available
<ul style="list-style-type: none"> Falling debris 	No information available
<ul style="list-style-type: none"> Landslide and Debris Flow 	No information available
<ul style="list-style-type: none"> Alluvion (the deposit of earth, sand, etc, left during a flood) 	No information available
<ul style="list-style-type: none"> Potential erosion 	No information available
<ul style="list-style-type: none"> Inundation 	No information available
<ul style="list-style-type: none"> Wind Zone 	<p>Please refer to BRANZ for wind zone information.</p> <p>For building work on this property, the wind and corrosion zones should be confirmed at the time of design.</p>

• Fill (compacted/uncompacted)	No information available
• Drainage restrictions	No information available
• Hazardous contaminants, including dangerous goods	No information available
• Historic sites	The property has a recorded cultural and built heritage site (Ohuirehe Urupa) in the vicinity, please refer to the attached Operative District Plan A-Side Map for the location of the site.
• Reserves (existing/proposed)	This property adjoins and is within the vicinity of Council-owned and maintained land; please refer to the Community Facilities Map for the locations.
• Bay of Plenty Regional Council	No information available
• Easements	Please refer to the attached Record of Title to confirm whether any easements exist over this property.
• Other legal restrictions (eg, building line restrictions)	Please refer to the attached Record of Title.
• Highlighted District Plan Provisions	See Whakatāne District Plan for further information.
• Any other special features	<p>This site is located within Earthquake Zone 2 as prescribed in Figure 5.4 of NZS3604:2011 Code of Practice for Timber Framed Buildings.</p> <p>This site is located within Corrosion Zone D as prescribed in Figure 4.2 of NZS3604:2011 Code of Practice for Timber Framed Buildings.</p> <p>This site is located in the (Coastlands) Tsunami Evacuation area. In the case of a Tsunami, please refer to the attached Tsunami Evacuation Route Map.</p> <p>There are various known active earthquake fault lines in the Whakatāne District. Please refer to the GNS Science mapping for further information http://data.gns.cri.nz/af/.</p> <p>The site adjoins a site with different zoning under the Whakatāne District Plan (Active Reserve Zone). Planning controls applicable to each zone may differ significantly. As such, the subject site may experience potential environmental effects or reduced amenity values not anticipated by the underlying zoning.</p> <p>Information on natural hazards which impact the Bay of Plenty region can be viewed here:</p> <p>The Earthquake Commission has developed the “Natural Hazards Portal” that lists past EQCover Claims. You can access the portal here https://www.naturalhazardsportal.govt.nz/s/. Please note that this information is managed by the Commission and not Whakatāne District Council.</p> <p>http://gis.boprc.govt.nz/story-series/index.html?appid=351747f1ca8347c483371b822198bba8</p> <p>For specific site details, please consult a geotechnical engineer.</p>
8 SERVICES	COMMENTS
• Stormwater	There is no public stormwater piping reticulation system available to connect to. Under such circumstances, properties would normally be required to dispose of stormwater on site via ground soakage and/or pipe to the nearest roadside channel where permitted.
• Sewer	This property is connected to the public sewerage reticulation system.
• Water	Metered Supply
• Trade Waste Consent	No
9 RATES	COMMENTS
Whakatāne District Council's rating assessment is below. For regional rating information , please contact the Bay of Plenty Regional Council.	

• Year ending 30 June 2022	\$4,712.47		
• Number of instalments	4		
• Date of next instalment	24 November 2023		
• Current balance or arrears	\$0.00		
• Date of valuation	September 2022		
• Land value	\$490,000		
• Capital value	\$1,280,000		
10 WATER	COMMENTS		
• Annual water supply charge	\$229.58		
• Last reading date	12 th May 2023		
• Consumption	41 m ³		
• Amount	\$201.28		
• Current balance or arrears	\$20.13		
11 BUILDINGS			
(a) Details of Building Permits			
No information available			
(b) Details of Building Consents			
Date	Consent No	Project	Date Code Compliance Certificate Issued
8 th June 1995	3909	Dwelling	19 th February 1997
(c) Details of any other Certificate/Notice/Order or Requisition Affecting Buildings			
Correspondence dated 23 rd October 1997 (copy attached)			
(d) Certificate Issued by a Building Certifier Pursuant to the Building Act 1991 or the Building Act 2004			
No information available			
(e) Information notified to the territorial authority under Section 124 of the Weathertight Homes Resolution Services Act			
No information available			
12 USE OF LAND			
(a) Details of Resource Consents (Subdivision /Land Use) or Certifications of Compliance Issued for Land			
No information available			
(b) Details of licences held			
No information available			
(c) Details of any other Certificate/Notice/Order of Requisition Affecting the Use of the Land			
Easement Certificate H362142.6; copy attached. Easement Instrument 11173692.2; copy attached.			
(d) Details of Conditions Affecting the Use of Land			
No information available			
Minimum Platform Level	<p>Should redevelopment of the site be proposed, a site-specific minimum building platform may have to be established in accordance with the flood level advice from the Bay of Plenty Regional Council. You can obtain this advice from: https://www.boprc.govt.nz/do-it-online/request-or-enquire/flood-level-report/.</p> <p>If no flood level is advised, then the required building platform level will be in accordance with the New Zealand Building Code.</p>		
13 INFORMATION NOTIFIED TO COUNCIL BY A STATUTORY ORGANISATION HAVING POWER TO CLASSIFY LAND OR BUILDINGS			
(a) Requiring Authority			

No information available	
(b) Heritage Protection Authority	
No information available	
14 INFORMATION NOTIFIED TO COUNCIL BY ANY NETWORK UTILITY OPERATOR PURSUANT TO THE BUILDING ACT 2004	
No information available	
15 SECTION 69ZH OF THE HEALTH ACT 1956 – DRINKING WATER SUPPLIER	
(ba) Any information that has been notified to the territorial authority by a drinking-water supplier under Section 69ZH of the Health Act 1956	
No information available	
(bb) Information on:	
(i) whether the land is supplied with drinking water and if so, whether the supplier is the owner of the land or networked supplier	Drinking water is supplied by a networked supplier.
(ii) if the land is supplied with drinking water by a networked supplier, any conditions that are applicable to that supply	No information available
(iii) if the land is supplied with water by the owner of the land, any information the territorial authority has about the supply	No information available
16 ANY OTHER INFORMATION CONSIDERED TO BE RELEVANT	
<p>A copy of the Whakatāne District Plan is available for viewing on the Council's website, www.whakatane.govt.nz, or at all public libraries and Council offices in the district. If you have a specific proposal for development of the property, then you may wish to consider professional planning or legal advice concerning this.</p> <p>Future development of the property, including subdivision, may require the payment of a monetary contribution for additional demands that may be placed on community infrastructure by the use or development of the land. Monetary contributions may be payable for roads, water, stormwater and wastewater services. If you are anticipating further development of the land, you are advised to read the Development Contributions Policy in the Long-term Plan 2018-2028.</p> <p>Aerial photographs attached as part of this LIM should not be relied upon when determining the property boundaries. A surveyor should be engaged should the users of this LIM wish to determine the boundaries of this property.</p>	
17 DISCLAIMER	
<p>This Land Information Memorandum has been prepared for the purposes of Section 44A of the Local Government Official Information and Meetings Act 1987 and contains all the information known to the Whakatāne District Council relevant to the land described. It is based on a search of Council records only, and there may be other information relating to the land which is not known by Council. The Council has not undertaken any inspection of the land or any buildings on it for the purpose of preparing the Land Information Memorandum. Accordingly, the Council is unable to verify that the consents held in our file match the buildings on the property. You are advised to peruse our file. The LIM Co-ordinator will hold the file for five working days. Please contact to arrange a suitable time to view the file (Telephone 07 3060500). The applicant is solely responsible for ensuring that the land is suitable for a particular purpose.</p> <p>The information available to Council is undergoing a digitisation process. Quality assurance is still being undertaken. We recommend that you contact the Council if there are any concerns.</p>	



Cody Stainthorpe
LIM Co-ordinator



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**




R.W. Muir
Registrar-General
of Land

Identifier **SA27B/69**
Land Registration District **South Auckland**
Date Issued 27 August 1981

Prior References
SA782/24

Estate Fee Simple
Area 889 square metres more or less
Legal Description Lot 52 Deposited Plan South Auckland
27360

Registered Owners
Philip Owen Harris, Joanne Harris and BK Trustees Limited

Interests

Appurtenant hereto are rights of way specified in Easement Certificate H362142.6 - 27.8.1981 at 11.46 am
Subject to rights of way over part marked C on DPS 27360 specified in Easement Certificate H362142.6 - 27.8.1981 at 11.46 am
The easements specified in Easement Certificate H362142.6 are subject to Section 37 (1) (a) Counties Amendment Act 1961
Fencing Covenant in Transfer B177971.2 - 17.12.1993 at 10.40 am
Land Covenant in Transfer B177971.2 - 17.12.1993 at 10.40 am
Appurtenant hereto is a right of way created by Easement Instrument 11173692.2 - 29.8.2018 at 5:33 pm

Search Copy Dated 12/09/23 2:45 pm, Page 2 of 2
Register Only

H362142.6 EC

Approved by the District Land Registrars: North Auckland 4221/75, South Auckland H.008116/1974, Canterbury 957768, Marlborough 75776, Gisborne 112239.9, Hawkes Bay 303051, Taranaki 217464.1, Wellington A038045, Westland 45629.

EASEMENT CERTIFICATE

(IMPORTANT: Registration of this certificate does not of itself create any of the easements specified herein).

I, IAN WALLACE LYSAGHT of Whakatane, Company Director/and ADRIAN JUNE LYSAGHT his wife (54 shares) (40½ shares) and the said IAN WALLACE LYSAGHT and ADRIAN JUNE LYSAGHT (8½ shares) jointly inter se

being the registered proprietor of the land described in the Schedule hereto hereby certify that the easements specified in that Schedule, the servient tenements in relation to which are shown on a plan of survey deposited in the Land Registry Office at South Auckland on the day of 19 under No S27360 are the easements which it is intended shall be created by the operation of section 90A of the Land Transfer Act 1952.

SCHEDULE DEPOSITED PLAN NO. S27360

Nature of Easement (e.g., Right of Way, etc.)	Servient Tenement		Dominant Tenement Lot No.(s) or other Legal Description	Title Reference (Part)
	Lot No.(s) or other Legal Description	Colour, or Other Means of Identification, of Part Subject to Easement		
Right of Way	Pt Lot 49	Shown A	Lot 50	782/24
Right of Way	Pt Lot 50	Shown B	Lot 49	782/24
Right of Way	Pt Lot 52	Shown C	Lot 53	782/24
Right of Way	Pt Lot 53	Shown D	Lot 52	782/24
SEWAGE EASEMENT	Pt Lot 57	Shown E	Lot 55	782/24
SEWAGE EASEMENT	Pt Lot 58	Shown F	Lot 55	782/24

N.B. On no account should this margin be used

N.B. On no account should this margin be used

State whether any rights or powers set out here are in addition to or in substitution for those set out in the Seventh Schedule to the Land Transfer Act 1952.

1. Rights and powers:

The rights and powers defined by this Certificate are the rights imposed by Section 90D of the Land Transfer Act 1952

N.B. On no account should this margin be used

N.B. On no account should this margin be used

2. Terms, conditions, covenants, or restrictions in respect of any of the above easements:

The registered proprietor for the time being of the said Lots 49 and 50, Deposited Plan 27360 in respect of the Rights of Way marked A and B mutually covenant with the other of them and the registered proprietor for the time being of the said Lots 52 and 53, Deposited Plan 27360 in respect of the Rights of Way marked C and D mutually covenant with the other of them that he/she/they will not permit any part of the surface of the land subject to the respective rights of way affecting the particular Lot or Lots to fall into disrepair and the cost of any necessary repairs to and maintenance of the said surface shall be borne and paid equally by the registered proprietors for the time being of the said Lots 49 and 50 and the registered proprietors for the time being of the said Lots 52 and 53 respectively PROVIDED HOWEVER that if any registered proprietor or his/her/their servants, tenants, agents, workmen, licensees or invitees shall cause or permit such rights of way to be damaged, then and in such case such registered proprietor shall immediately repair the said damage at his/her/their own cost in all respects AND PROVIDED FURTHER that if any registered proprietor shall not bear his/her/their share of the cost of any repairs and maintenance or in the case of damage shall not repair the same, any one or more of the other registered proprietors having the right to use the particular right of way shall be at liberty to do such maintenance work or make such repairs and recover the cost and expense from the registered proprietor or registered proprietors so in default.

N.B. On no account should this margin be used

N.B. On no account should this margin be used

Dated this

7th

day of

July 1987
Ian Wallace Lysaght
Adrian June Lysaght

Signed by the above-named

IAN WALLACE LYSAGHT and
ADRIAN JUNE LYSAGHT

in the presence of

Witness

Occupation

Address

[Signature]
Solicitor
Auckland

EASEMENT CERTIFICATE

IMPORTANT: Registration of this certificate does not of itself create any of the easements specified herein.

Correct for purposes of the Land Transfer Act

The easements referred to herein
when created will be subject to
Section 37 (1) (a), Counties Amendment
Act 1961

(Solicitor for) the registered proprietor

William
A.C.

N.B. On no account should this margin be used

N.B. On no account should this margin be used

Particulars entered in the Register as shown in
the schedule of land herein on the date and at
the time stamped below

William
District Land Registrar

Assistant
of the District of

South Auckland



*Ease Cert
4/10*

7.

MILNE MEEK & PARTNERS,
SOLICITORS,
AUCKLAND

AUG 27 11 46 AM '81

District Land Registry
Hamilton No. 2

488/24

H
3621426



View Instrument Details



Instrument No 11173692.2
Status Registered
Date & Time Lodged 29 August 2018 17:33
Lodged By Gowing, Roger Owen
Instrument Type Easement Instrument



Affected Computer Registers	Land District
SA27B/68	South Auckland
SA27B/69	South Auckland

Annexure Schedule: Contains 4 Pages.

Grantor Certifications

- I certify that I have the authority to act for the Grantor and that the party has the legal capacity to authorise me to lodge this instrument ✓
- I certify that I have taken reasonable steps to confirm the identity of the person who gave me authority to lodge this instrument ✓
- I certify that any statutory provisions specified by the Registrar for this class of instrument have been complied with or do not apply ✓
- I certify that I hold evidence showing the truth of the certifications I have given and will retain that evidence for the prescribed period ✓
- I certify that the Mortgagee under Mortgage 6018735.3 has consented to this transaction and I hold that consent ✓
- I certify that the Mortgagee under Mortgage 8558869.2 has consented to this transaction and I hold that consent ✓

Signature

Signed by Roger Owen Gowing as Grantor Representative on 06/09/2018 03:02 PM

Grantee Certifications

- I certify that I have the authority to act for the Grantee and that the party has the legal capacity to authorise me to lodge this instrument ✓
- I certify that I have taken reasonable steps to confirm the identity of the person who gave me authority to lodge this instrument ✓
- I certify that any statutory provisions specified by the Registrar for this class of instrument have been complied with or do not apply ✓
- I certify that I hold evidence showing the truth of the certifications I have given and will retain that evidence for the prescribed period ✓

Signature

Signed by Roger Owen Gowing as Grantee Representative on 06/09/2018 03:02 PM

*** End of Report ***

Easement instrument to grant easement or *profit à prendre*, or create land covenant
(Sections 90A and 90F Land Transfer Act 1952)

2015/6246
APPROVED
Registrar-General of Land

Page 1 of 3 pages

Grantor

Finnbogi Hilmar PALSSON, Nicola Marie BRYANT and BK TRUSTEES LIMITED

Grantee

Philip Owen HARRIS, Joanne HARRIS and BK TRUSTEES LIMITED

Grant of Easement or *Profit à prendre* or Creation of Covenant

The Grantor being the registered proprietor of the servient tenement(s) set out in Schedule A grants to the Grantee (and, if so stated, in gross) the easement(s) or *profit(s) à prendre* set out in Schedule A, or creates the covenant(s) set out in Schedule A, with the rights and powers or provisions set out in the Annexure Schedule(s)

Schedule A

Continue in additional Annexure Schedule, if required

Purpose (Nature and extent) of easement; <i>profit</i> or covenant	Shown (plan reference)	Servient Tenement (Computer Register)	Dominant Tenement (Computer Register) or in gross
Right of Way	B, DP 512536	Lot 51 DPS 27360 (SA27B/68)	Lot 52 DPS27360 (SA27B/69)

Easements or profits à prendre rights and powers (including terms, covenants and conditions)

Delete phrases in [] and insert memorandum number as required; continue in additional Annexure Schedule, if required

Unless otherwise provided below, the rights and powers implied in specified classes of easement are those prescribed by the Land Transfer Regulations 2002 and/or Schedule Five of the Property Law Act 2007

The implied rights and powers are hereby **[varied]** ~~**[negative]**~~ **[added to]** or **[substituted]** by:

~~**[Memorandum number]**~~, registered under section 155A of the Land Transfer Act 1952]

[the provisions set out in Annexure Schedule 1]

Covenant provisions

Delete phrases in [] and insert Memorandum number as required; continue in additional Annexure Schedule, if required

~~The provisions applying to the specified covenants are those set out in:~~

~~**[Memorandum number]**~~, registered under section 155A of the Land Transfer Act 1952]

~~**[Annexure Schedule]**~~

Annexure Schedule

Page 3 of 3 Pages

2015/5049
APPROVED
Registrar-General of Land

Insert instrument type

Easement

Continue in additional Annexure Schedule, if required

ANNEXURE SCHEDULE 1

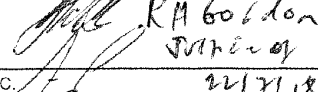
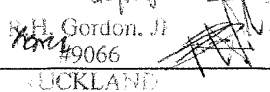
Rights and Powers:

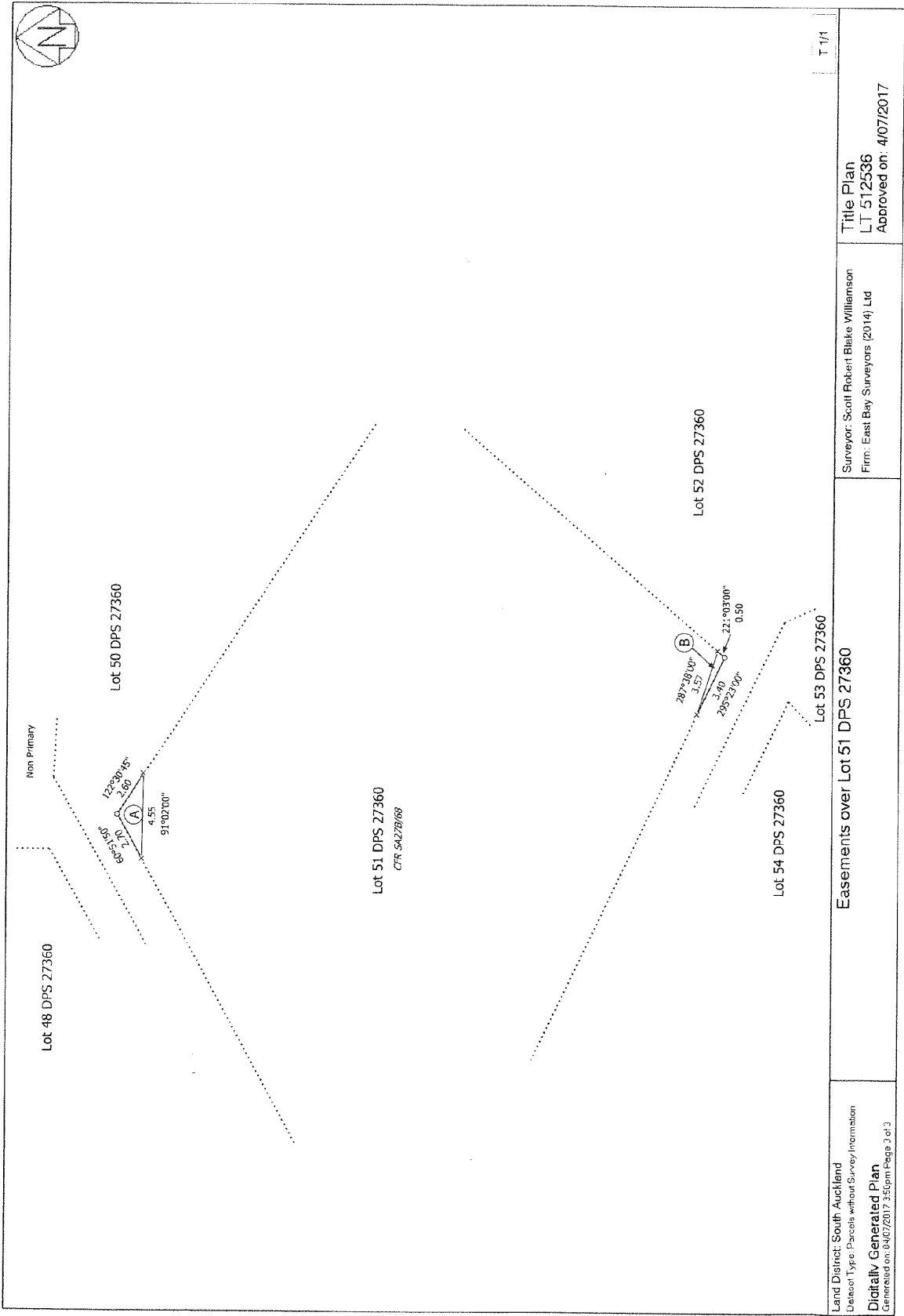
1. The rights and powers set out in the Forth Schedule to the Land Transfer Regulations 2002 are herein implied except as they are added to or substituted hereto.
2. Where there is a conflict between the provision of the Fourth Schedule to the Land Transfer Regulations 2002 and the modifications in this Easement Instrument the modifications shall prevail.
3. No power is implied in respect of any easement for the Grantor to determine the easement for breach of any provision of this instrument (whether expressed or implied) or for any other cause, it being the intention of the parties that each easement shall subsist for all time unless it is surrendered.

The Maintenance provisions in the Forth Schedule of the Land Transfer Regulations 2002 are modified as follows:

1. The word "equally" in clause 11(2) of the Forth Schedule of the Land Transfer Regulations 2002 shall be read as "for a reasonable contribution in proportion to their use".
2. Any maintenance, repair or replacement of the easement facilities on the servient or dominant land over the stipulated course that is necessary because of any act or omission by the Grantor must be carried out promptly by the Grantor and at the sole costs of the Grantor. Where the act or omission is the partial cause of the maintenance, repair or replacement, the costs payable by the Grantor responsible must be in proportion to the amount attributable to that act or omission (with the balance payable in accordance with clause 11 of the Fourth Schedule to the Land Transfer Regulations 2002).
3. Any maintenance, repair or replacement of the easement facilities on the servient or dominant land over the stipulated course that is necessary because of any act or omission by the Grantee must be carried out promptly by the Grantee and at the sole cost of the Grantee. Where the act or omission is the partial cause of the maintenance, repair or replacement, the costs payable by the Grantee responsible must be in proportion to the amount attributable to that act or omission (with the balance payable in accordance with clause 11 of the Fourth Schedule to the Land Transfer Regulations 2002).

If this annexure schedule is used as an expansion of an instrument, all signing parties and either their witnesses or solicitors must sign or initial in this box.

 RA Gordon
 H. Gordon, Jr.
 22/7/18 22/7/18
 REF: 7225 - AUCKLAND DISTRICT LAW SOCIETY INC. AUCKLAND
 The Peace for New Zealand



RID DOCUMENT

Date: 8 September 2023

Valuation Number: 07111 187 00

Location: 7 RURIMA RISE

Legal Description: LOT 52 DPS 27360

Area (Ha): 0.0889

Valuation Date: 1 September 2022

	Normal Values	Special Values (if applicable)
Land Value:	490,000	
Improve Value:	790,000	
Capital Value:	1,280,000	
Tree Value:	0	

Contiguous Property:

2024 Year's Assessed Rates: **4,712.47**

Instalment 1: 25 Aug 2023

Instalment 2: 24 Nov 2023

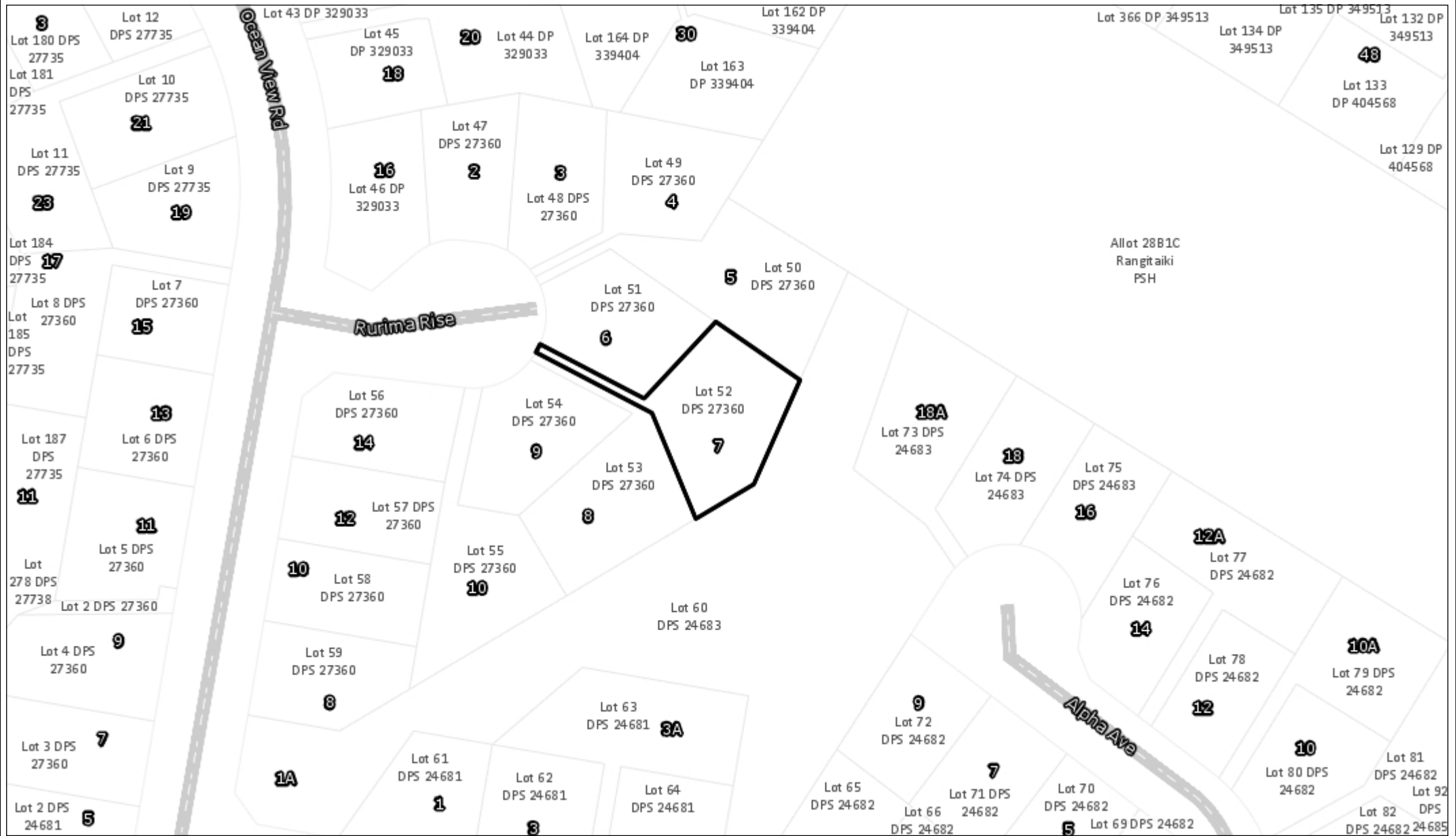
Instalment 3: 23 Feb 2024

Instalment 4: 24 May 2024

Property Map

Date Printed: 12 September 2023

Prepared By:



SCALE 1: 1,128



Projection: NZGD_2000_New_Zealand_Transverse_Mercator

57.3 Meters



Aerial Photography flown between 2011 and 2013, depending on the area. Parcel boundaries are to be taken as approximate only, not to be substituted for site specific survey. May contain LINZ data: Crown Copyright Reserved Note: Placenames may not conform to LINZ guidelines 2008. DISCLAIMER: While Whakatane District Council (WDC), has exercised all reasonable skill and care in controlling the contents of this information, WDC accepts no liability in contract, tort or otherwise howsoever, for any loss, damage, injury or expense (whether direct, indirect or consequential) arising out of the provision of this information or its use by you. *Position of all assets & historical sites are approximate, actual positions are to be verified on site.



Services Map

Date Printed: 12 September 2023

Prepared By:



SCALE 1: 1,128



Projection: NZGD_2000_New_Zealand_Transverse_Mercator



Aerial Photography flown between 2011 and 2013, depending on the area. Parcel boundaries are to be taken as approximate only, not to be substituted for site specific survey. May contain LINZ data: Crown Copyright Reserved Note: Placenames may not conform to LINZ guidelines 2008. DISCLAIMER: While Whakatane District Council (WDC), has exercised all reasonable skill and care in controlling the contents of this information, WDC accepts no liability in contract, tort or otherwise howsoever, for any loss, damage, injury or expense (whether direct, indirect or consequential) arising out of the provision of this information or its use by you. *Position of all assets & historical sites are approximate, actual positions are to be verified on site.



Community Facilities Map

Date Printed: 12 September 2023

Prepared By:



57.3
 SCALE 1: 1,128
 0
 Projection: NZGD_2000_New_Zealand_Transverse_Mercator
 57.3 Meters



Aerial Photography flown between 2011 and 2013, depending on the area. Parcel boundaries are to be taken as approximate only, not to be substituted for site specific survey. May contain LINZ data: Crown Copyright Reserved Note: Placenames may not conform to LINZ guidelines 2008. DISCLAIMER: While Whakatane District Council (WDC), has exercised all reasonable skill and care in controlling the contents of this information, WDC accepts no liability in contract, tort or otherwise howsoever, for any loss, damage, injury or expense (whether direct, indirect or consequential) arising out of the provision of this information or its use by you. *Position of all assets & historical sites are approximate, actual positions are to be verified on site.



Operative District Plan A-Side Map

Date Printed: 12 September 2023

Prepared By:



57.3

SCALE 1: 1,128

0

Projection: NZGD_2000_New_Zealand_Transverse_Mercator

57.3 Meters



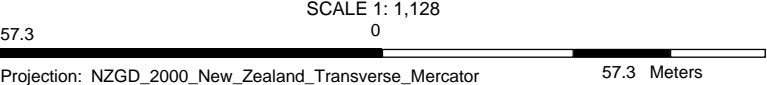
Aerial Photography flown between 2011 and 2013, depending on the area. Parcel boundaries are to be taken as approximate only, not to be substituted for site specific survey. May contain LINZ data: Crown Copyright Reserved Note: Placenames may not conform to LINZ guidelines 2008. DISCLAIMER: While Whakatane District Council (WDC), has exercised all reasonable skill and care in controlling the contents of this information, WDC accepts no liability in contract, tort or otherwise howsoever, for any loss, damage, injury or expense (whether direct, indirect or consequential) arising out of the provision of this information or its use by you. *Position of all assets & historical sites are approximate, actual positions are to be verified on site.



Operative District Plan B-Side Map

Date Printed: 12 September 2023

Prepared By:




Aerial Photography flown between 2011 and 2013, depending on the area. Parcel boundaries are to be taken as approximate only, not to be substituted for site specific survey. May contain LINZ data: Crown Copyright Reserved Note: Placenames may not conform to LINZ guidelines 2008. DISCLAIMER: While Whakatane District Council (WDC), has exercised all reasonable skill and care in controlling the contents of this information, WDC accepts no liability in contract, tort or otherwise howsoever, for any loss, damage, injury or expense (whether direct, indirect or consequential) arising out of the provision of this information or its use by you. *Position of all assets & historical sites are approximate, actual positions are to be verified on site.














Legend (Page 1)











Water Supply

	Back Flow Preventer
	Hydrant
	Bulk Meter
	Customer Meter
	Air Release
	Control Valve
	Isolation Valve
	Isolation Valve Closed
	Non Return Valve
	Pump Station
	Bore (Source)
	Bore BOPRC
	Node
	Connect on
	Main
	Reservoir



































Waste Water

	Valve
	Pump Station
	Node
	Miscellaneous
	Manhole
	Outlet
	Connection
	Main
	Riser Main
	Facility
	Scheme







Stormwater

	Inlet
	Manhole
	Miscellaneous
	Node
	Pump Station
	Open Drain
	Connect on
	Main
	Soakage Area
	Ground Soakage Zone

BOPRC Pump Scheme

	ANGLE ROAD PUMPING SCHEME
	AWAITI EAST PUMPING SCHEME
	AWAITI WEST PUMPING SCHEME
	AWAKERI FARMS PUMPING SCHEME
	BAIRD/MILLER PUMPING SCHEME
	FOUBISTER PUMPING SCHEME
	GORDON PUMPING SCHEME
	GREIG ROAD PUMPING SCHEME
	HALLS PUMPING SCHEME
	HYLAND/BAILLIE PUMPING SCHEME
	KUHANUI PUMPING SCHEME
	LAWRENCE PUMPING SCHEME
	LONGVIEW RICHLANDS PUMPING SCHEME
	LUXTON VALLEY PUMPING SCHEME
	MARTIN PUMPING SCHEME
	MASSEY PUMPING SCHEME
	MEXTED/WITHY PUMPING SCHEME
	MURRAY PUMPING SCHEME
	NICHOLAS PUMPING SCHEME
	NOORD VIERBOOM PUMPING SCHEME
	OMEHEU ADJUNCT PUMPING SCHEME
	OMEHEU EAST PUMPING SCHEME
	OMEHEU WEST PUMPING SCHEME
	PEDERSEN PUMPING SCHEME
	PLATTS PUMPING SCHEME
	POPLAR LANE PUMPING SCHEME
	REYNOLDS PUMPING SCHEME
	RIVERSLEA PUMPING SCHEME
	ROBINS ROAD PUMPING SCHEME
	ROBINSON PUMPING SCHEME
	THOMPSON/ERNEST PUMPING SCHEME
	TRAVURZAS PUMPING SCHEME
	WITHY PUMPING SCHEME
	WYLD PUMPING SCHEME

BOPRC Flood Protect on Drainage Bylaw

	Waterway
	Timber Wall; Stopbank; Concrete Wall
	Defence against water (stopbank) and drain; Defence against water
	Drain
	Floodway; Te Rahu Ponding Area
	Spillway













Legend (Page 2)

District Plan

 Mill Waste Contaminated Site - Indicate	 Coastal Environment Zone (BOPRC)	 104.0m Moderate Inundation Risk Zone	 Whakatane Riverbank Reserve (Greenway Concept)
 Cultural Heritage Site	 Esplanade Water Body (Polygon)	 104.1m Extreme Inundation Risk Zone	 12m Height Restriction
 Cultural & Built Heritage Site (Points)	 Overland Flow Paths	 104.55m Extreme Inundation Risk Zone	 Minor Rivers, Streams and Waterways
 Marae & Urupa Amenity Yard	 Significant Indigenous Biodiversity Sites (SIBS)	 104.7m Extreme Inundation Risk Zone	 BOPRC Drains
 Cultural & Built Heritage Site (Polygons)	 Significant Amenity Landscapes (SAL)	 Galatea Aerodrome Obstacle Limitation Surface	 Key Rivers and Waterways
 Statutory Acknowledgements	 Outstanding Natural Feature Landscapes (ONFL)	 Pedestrian Street	 Grid Index
 Designation	Erosion Risk Zone	 Road Widening	 Territorial Authority Boundary
 Edgecumbe Dairy Manufacturing Site	 Current Erosion Risk Zone	 Restricted Vehicle Access	Planning Zones
 Awakeri Quarry Setback Buffer Area	 2060 Erosion Risk Zone	 District Arterial Roads	 Active Reserve
 Edgecumbe Dairy Manufacturing Site Noise Contour (45dBL Aeq)	 2100 Erosion Risk Zone	 Limited Access Road	 Business Centre
 Omeheu Spray Irrigation Scheme	 NHaz4 Escarpment (Line)	 Minginui Access Road	 CPZ
 Whakatane Board Mill Site	Debris Flow Policy Area	 Railway	 Commercial
 Significant Specimen Tree	 High	 Railway Corridor Buffer 100m	 Community and Cultural
 Coastal Environment Line	 Medium	 State Highway	 Deferred Residential
 Esplanade Water Body (Line)	 Low	 Gas Transmission Pipeline Corridor	 Education
 Significant Identified Ridgelines	 Rangitiki Spillway/Reids Canal	 High Voltage Electrical Transmission Lines (National Grid Centre Line)	 Industrial
Ohakana Island 25m & 35m Contour	 Te Rahu Flood Storage Basin	 300m Oxidation Pond Buffer	 Large Format Retail
 25 m Contour	 NHaz4 Escarpment (Polygon)	 Kawerau Geothermal Exploration Area	 Light Industrial
 35 m Contour	Inundation Risk Zone	 Key Urban Space	 Mixed Use
 Bird Nesting Vehicle Restriction Area	 103.3m Moderate Inundation Risk Zone	 Strand Character Policy Area	 Residential
	 103.6m Moderate Inundation Risk Zone		 Rural Coastal
			 Rural Foothills
			 Rural Ohiwa
			 Rural Plains
			 Urban Living




Legend (Page 3)

Culture & Heritage













-  District Plan Heritage Schedule
-  New Zealand Heritage List site
-  Ngati Awa Historical site
-  Nga Whenua Rahui Protected Area (Point)
-  Nga Whenua Rahui Protected Area
-  NZAA Archaeological site
-  NZAA Archaeological site area
-  NZAA Archaeological site accuracy
-  Marae Location
-  Nohoanga Sites
-  Statutory Acknowledgements
-  Iwi/ Rohe Boundary

Community Facilities

Council Owned Facilities

-  Aquatic Centres
-  Public Conveniences
-  Sports Facilities Grounds

Community Facility Assets

-  Climbing Frame
-  Handrail
-  See saw
-  Shade Sail
-  Skate Park
-  Slide
-  Sporting Equipment
-  Stairs/Steps
-  Swing
-  Foot bridge
-  Decking/Boardwalk
-  Playground

Council Owned/Administered Land

Council Owned Buildings

-  Commercial
-  Community Halls
-  Operational Properties
-  Other Properties
-  Pensioner Housing
-  Asset Boundaries

Whakatane District Council



Address all letters to:

THE GENERAL MANAGER, WHAKATANE DISTRICT COUNCIL, PRIVATE BAG 1002, WHAKATANE 3080.

TELEPHONE (07) 307-9800

FAX No. (07) 308-5804

CODE COMPLIANCE CERTIFICATE 3909

Section 43, Building Act 1991

BUILDING CONSENT NO: 3909

PIM NO: 3909

APPLICANT

PO/J Harris
PO Box 213
Whakatane

PROJECT LOCATION

Site Address: 7 Rurima Rise
Whakatane
Legal Description: LOT 52
Valuation Number: 7111/187/00/

PROJECT

New Building-Exclude Garage&Outbuilding

Intended Use: NEW DWELLING
Greater than 50 years

Being stage 1 of and intended 1 stage(s)

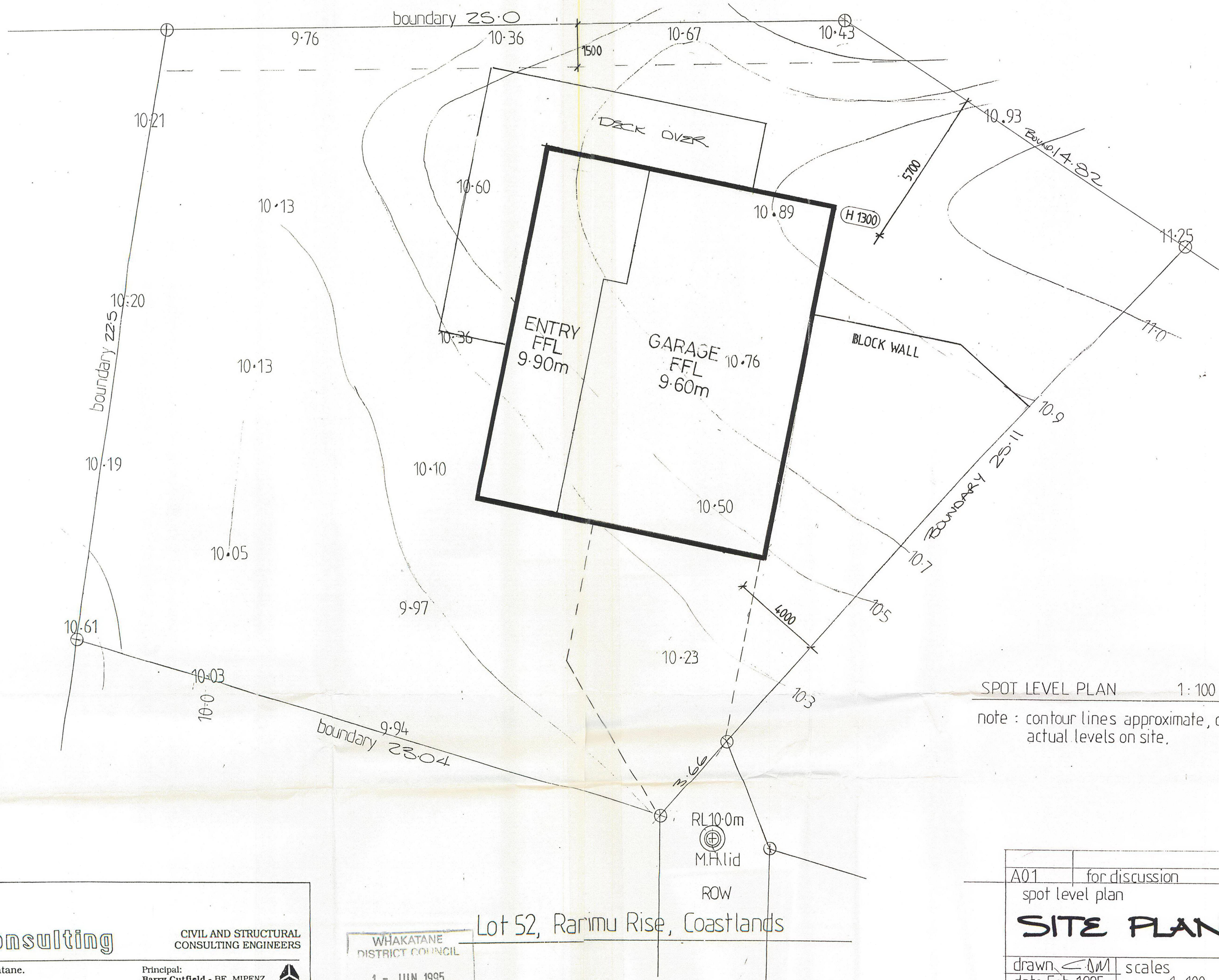
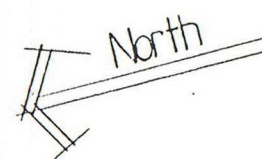
This is a final code compliance certificate issued in respect of all the building work under the building consent.

Name: X Belshaw

Position: Bldg Assistant DATE: Wed Feb 19 1997



Environmental Services Department



SPOT LEVEL PLAN 1:100

note : contour lines approximate, confirm actual levels on site.

h Cutfield Consulting

CIVIL AND STRUCTURAL
CONSULTING ENGINEERS

50 Strand East, P.O. Box 37, Whakatane.
Telephone (07)3071444.

Principal:
Barry Cutfield - BE, MIPENZ



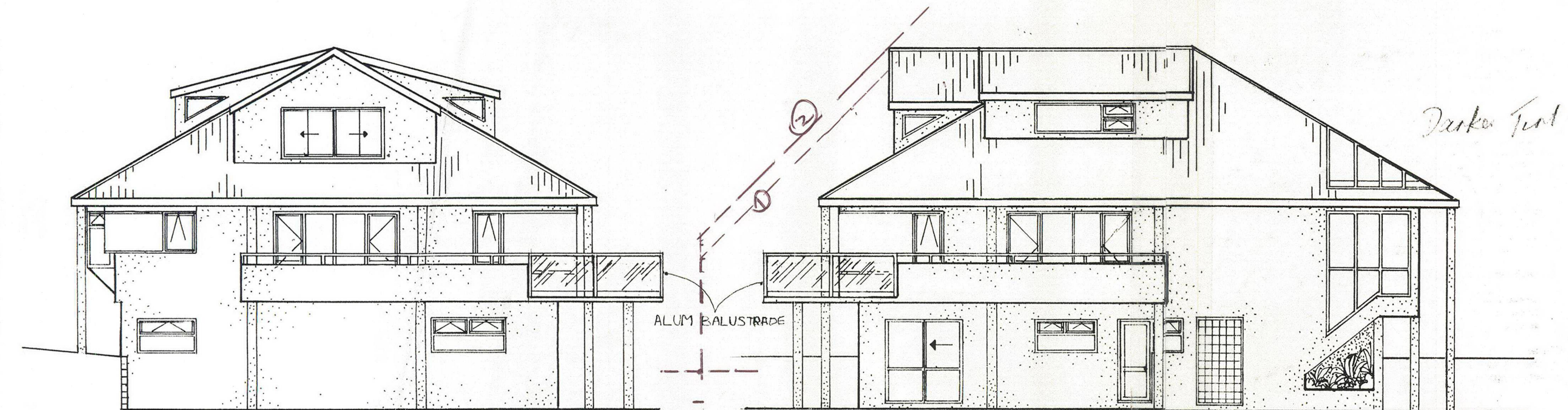
WHAKATANE
DISTRICT COUNCIL

1 - JUN 1995

approved BH

Lot 52, Rarimu Rise, Coastlands

A01	for discussion	< & M	13/2/95
spot level plan		sheet	
SITE PLAN		9	
drawn < & M	scales	series of 1	
date Feb 1995	1:100	ref 34595	

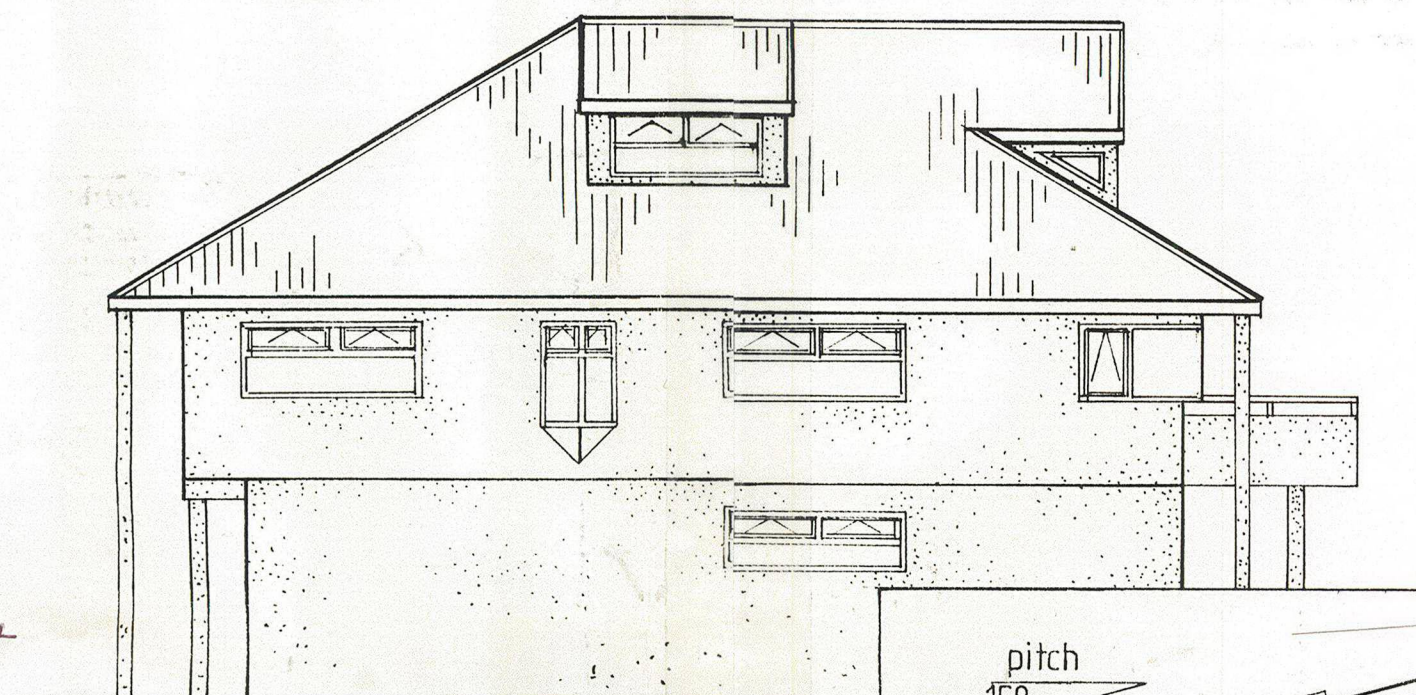


EAST

NORTH

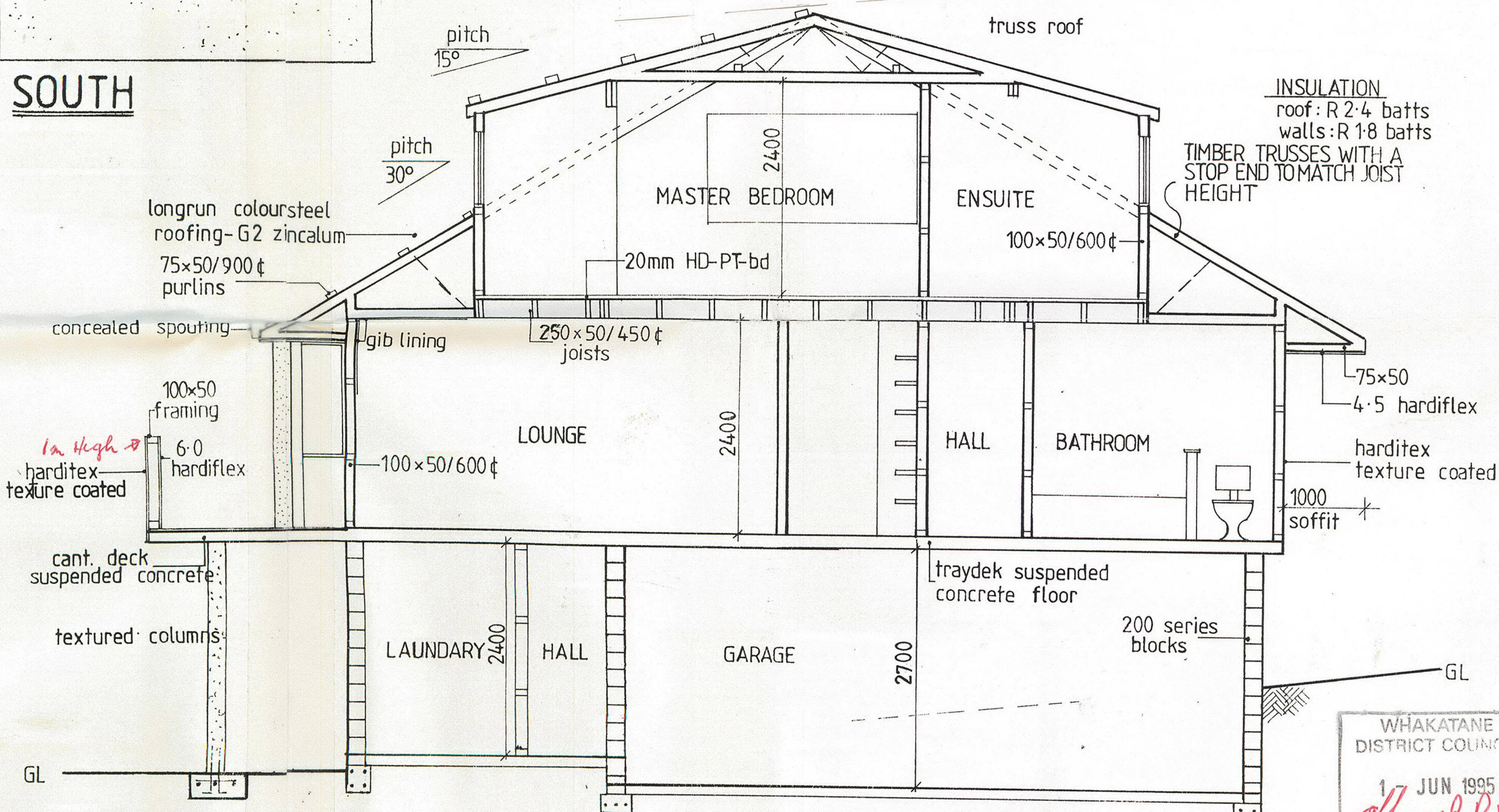


WEST



SOUTH

**NEW RESIDENCE
MR & MRS. P. HARRIS
RURIMA RISE COASTLANDS.**

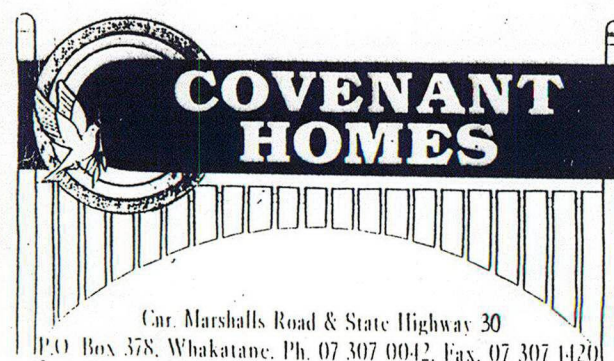


SECTION A-A

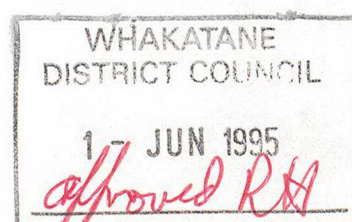
1:50

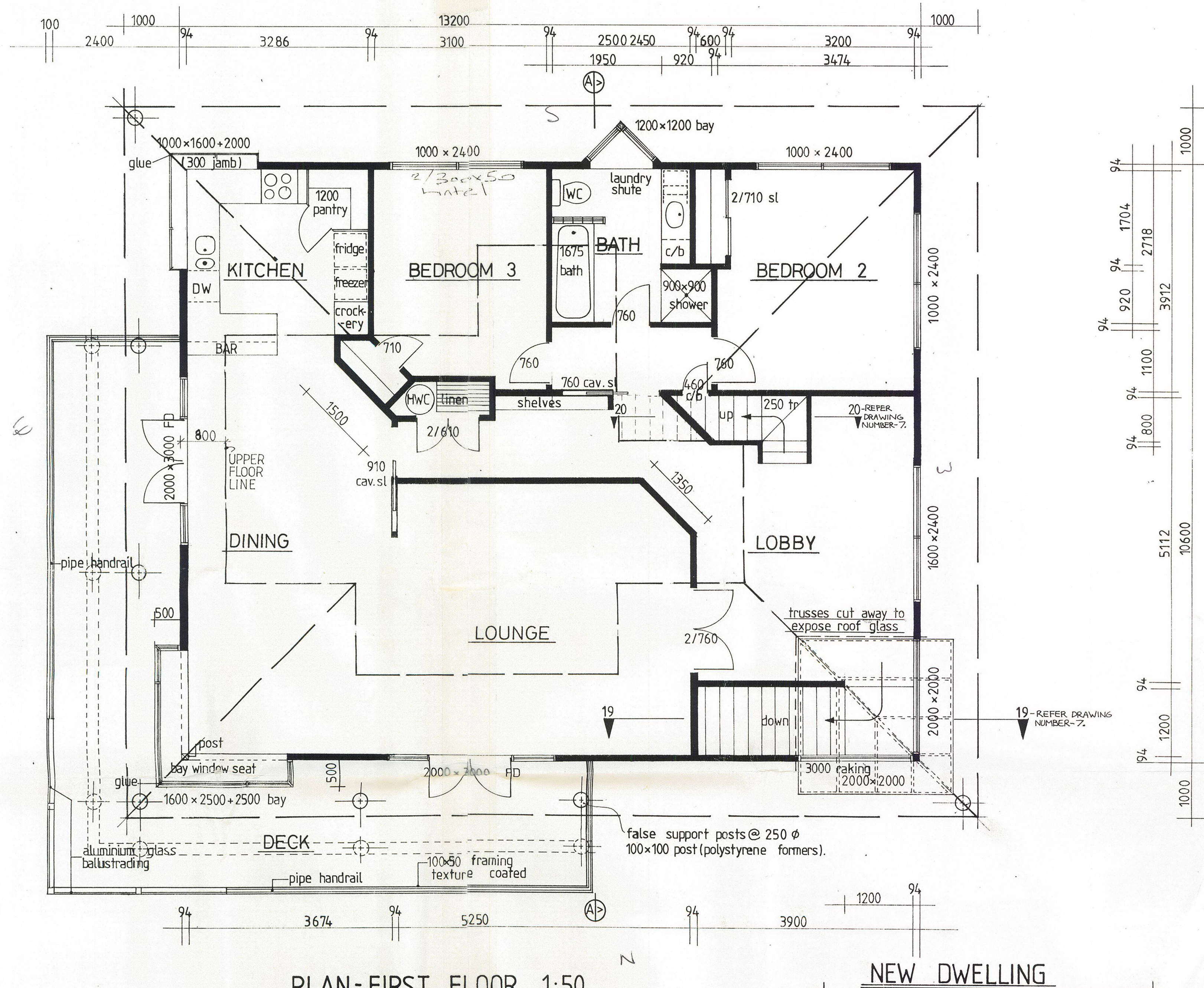
HARRIS

drawing number. 1 of 7



THESE PLANS REMAIN THE PROPERTY OF
COVENANT HOMES AND MAY NOT BE
COPIED OR REPRODUCED WITHOUT
AUTHORISATION OF THE COMPANY





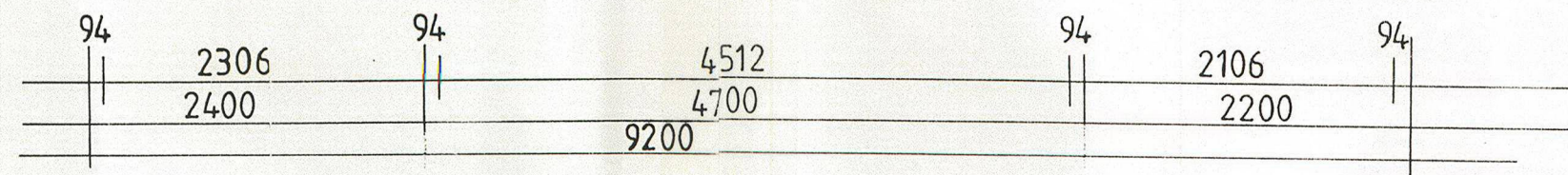
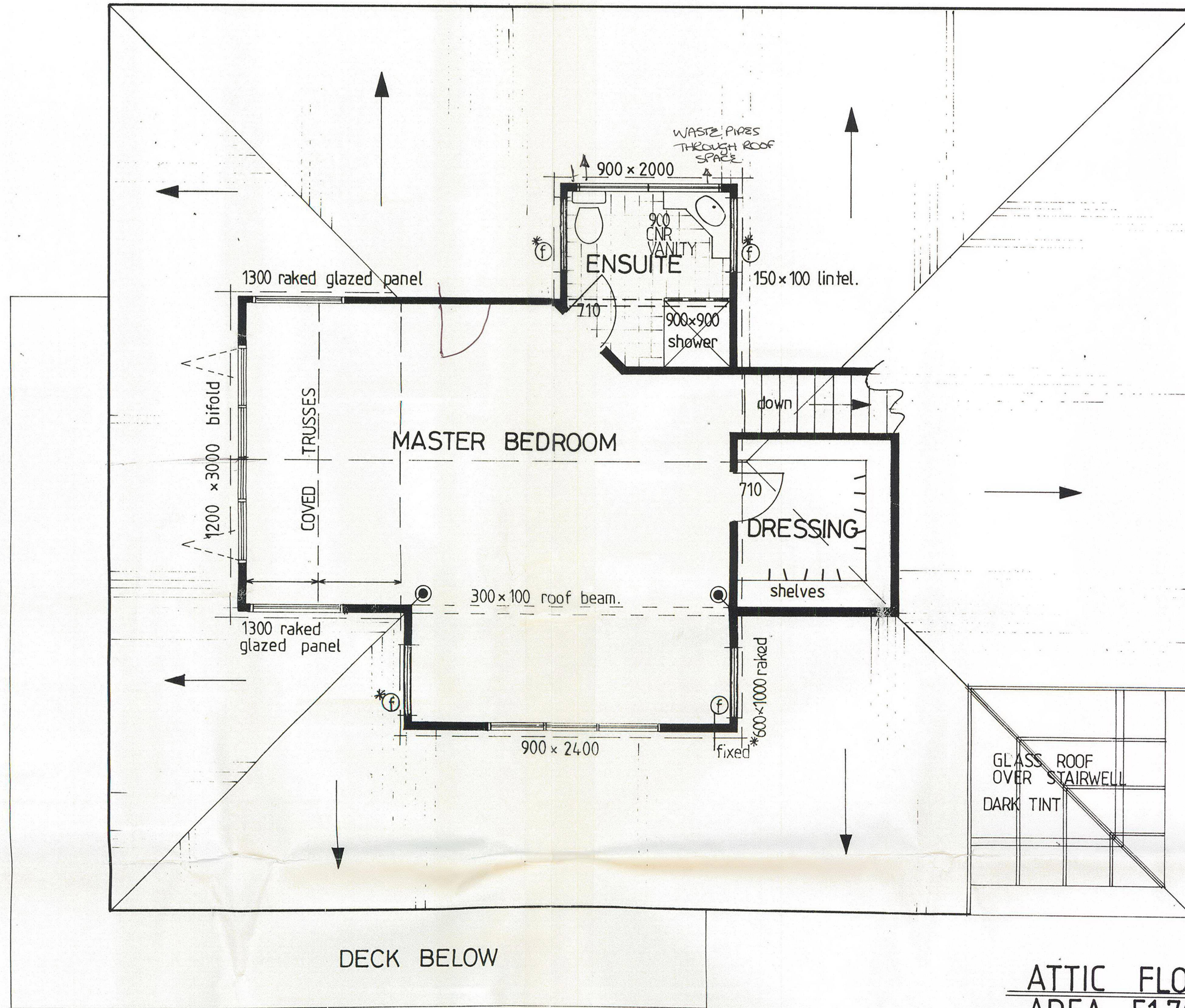
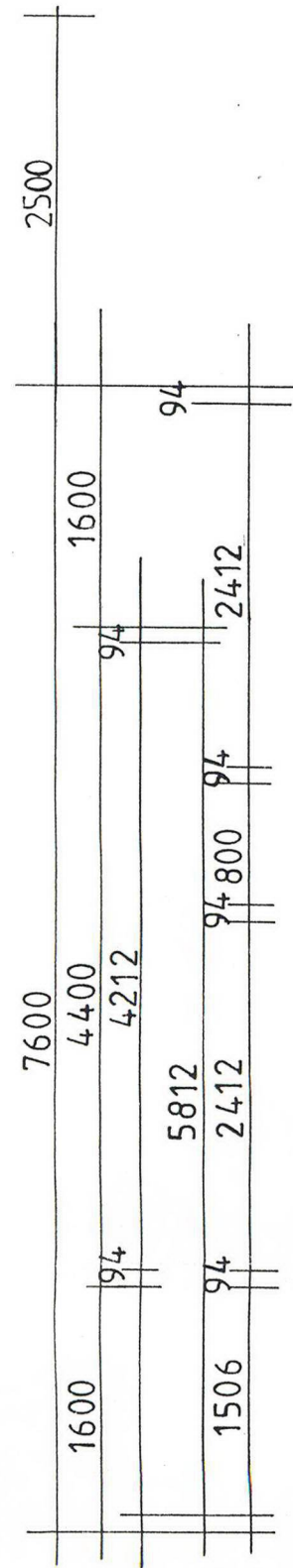
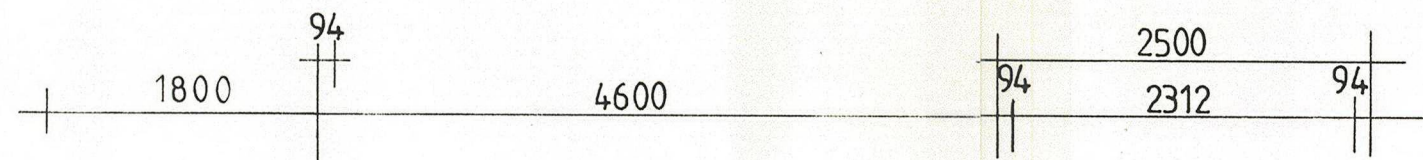
PLAN - FIRST FLOOR 1:50
AREA 141 m

NEW DWELLING
MR MRS. P. HARRIS
RURIMA RISE COASTLANDS

drawing number. ② of 7

WHAKATANE
DISTRICT COUNCIL

1 - JUN 1995

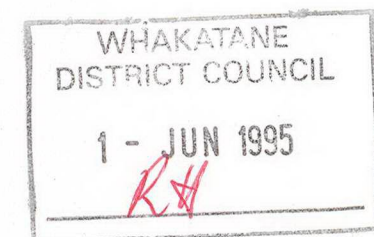


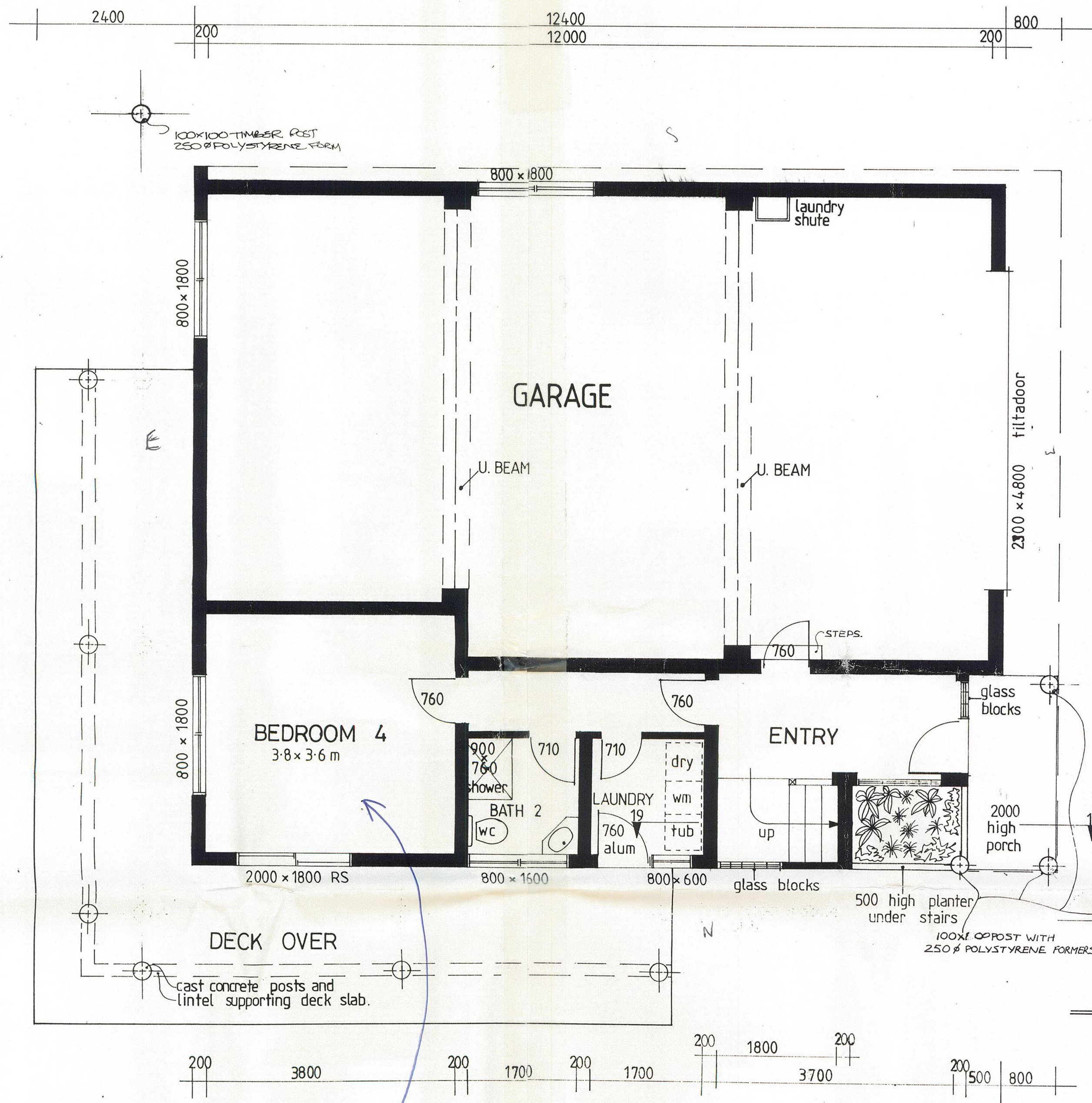
LINTEL FIXING AGAINST UPRIGHT.
 ● — fix lintel and supporting studs against uplift with 1/25x12mm galv strap with 6/ 30x3-15 galv nails per strap end.

ATTIC FLOOR
AREA 51.74m

drawing number. **3** OF 7

MR MRS. P. HARRIS
RURIMA RISE
COASTLANDS





BASEMENT 1:50

AREA: 129m²

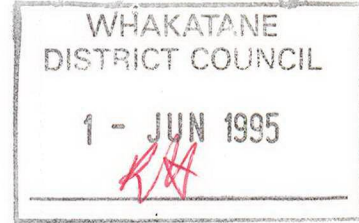
HARRIS

drawing number 4 OF 7



Pat

BEDROOM 4
STRAPPED WITH 50x40
BATTEN @ 600mm CRS
VERTICALLY TO PROVIDE
'AIR GAP' FOR INSULATION





Whakatane District Council

Your ref:

Our ref:

Mrs Harris
7 Rurima Rise
Whakatane

Dear Madam

DAMAGED GLAZING
7 RURIMA RISE, WHAKATANE LOT 52, DPS 27360

I write in regard to the window seat glazing within the lounge of your dwelling.

My onsite inspection carried out 20 October 1997 revealed that the glazing as installed is 5mm annealed glass with the window pane size being 2.150m x 1.550m.

The window pane is cracked from top to bottom. I note your comment that this is the second time the window has broken; the first time occurring December 1996.

The New Zealand Standard 4223: Part 3: 1993 applicable for this type of glazing, specifies that glazing for this type of window with these dimensions in annealed glass, should have a minimum thickness of 8mm.

It is of concern to Council that the window manufacturer has supplied to you a non-complying product. This issue will be investigated further. Notwithstanding I recommend that you contact the supplier and request that the deficiency be rectified immediately. Should you experience any difficulty in having the situation remedied please contact either myself or Jeff Farrell, Council's District Inspector.

I trust this letter is of assistance to you. I would appreciate your advice when the matter has been rectified.

Yours faithfully

Taylor Wong
BUILDING CONTROL OFFICER

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